

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <b>EDWIN VEGA</b>	Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>237 S. AVE 18</b>	Company NAIC Number	
City <b>LOS ANGELES</b> State <b>CA</b> ZIP Code <b>90031</b>		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>APN 5447-026-023</b>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>		
A5. Latitude/Longitude: Lat. <b>34°04'13.68" N</b> Long. <b>118°13'19.61"</b>	Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <b>1</b>		
A8. For a building with a crawl space or enclosure(s), provide		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) _____ sq ft	a) Square footage of attached garage _____ sq ft	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A8.b _____ sq in	c) Total net area of flood openings in A9.b _____ sq in	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number <b>CITY OF LOS ANGELES 060137</b>		B2. County Name <b>LOS ANGELES</b>		B3. State <b>CA</b>	
B4. Map/Panel Number <b>060137/0066</b>	B5. Suffix <b>D</b>	B6. FIRM Index Date <b>12-03-1999</b>	B7. FIRM Panel Effective/Revised Date <b>7-06-1998</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>303'</b>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction <small>*A new Elevation Certificate will be required when construction of the building is complete.</small>	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7. Benchmark Utilized <b>BM ID 12-04728</b> Vertical Datum <b>NGVD 1929</b> Conversion/Comments <b>NO</b>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawl space, or enclosure floor),	<u>310.47</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>318.47</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>313.91</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>308.27</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>310.21</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.	
Certifier's Name <b>RAYMUNDO LOMBERA</b>	License Number <b>PLS 7740</b>
Title <b>OWNER/PRESIDENT</b>	Company Name <b>RAY LOMBERA AND ASSOCIATES, INC</b>
Address <b>5015 EAGLE ROCK BLVD SUITE 210</b> City <b>LOS ANGELES</b>	State <b>CA</b> ZIP Code <b>90041</b>
Signature <i>Raymundo Lombera</i> Date <b>5.20.08</b>	Telephone <b>323 257 9771</b>



**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

For Insurance Company Use:

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

Policy Number

237 S. AVE 18

City LOS ANGELES State CA ZIP Code 90031

Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments

**ELECTRICAL OUTLET ELEV: 313.91 FT.**

*Manuela Avila*  
Signature

5-20-08  
Date

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

MANUELA AVILA

Address 237 S. AVE 18

City LOS ANGELES

State CA

ZIP Code 90031

Signature

*Manuela Avila*

Date

5-20-08

Telephone

(323) 441-8452

Comments

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

Check here if attachments

NUMBER OF PARKING SPACES = 3  
AS PER (B) PERMIT UNDER  
# 05010-20000-01718.

2% MIN.

CITY OF LOS ANGELES  
BUREAU OF ENGINEERING  
STORMWATER PROGRAM

CONSTRUCTION ON LOT SUBJECT TO FLOOD HAZARD MITIGATION  
(NO BASEMENTS ARE ALLOWED)

FLOOD ZONE **AE** HIGHEST ADJACENT GRADE \_\_\_\_\_  
BASE FLOOD ELEVATION **303** LOWEST FLOOR ELEVATION **308.25'**  
PCIS APPLICATION NO **07010-20000-0403**  
APPROVAL BY **M.A.** DATE **10/19/07** SCALE: 1/4" = 1'-0"

WEST ELEVATION

① Elevation certificate is required upon completing the construction immediately  
② FFE is @ 308.25'

2% MIN.

MAX 9'

EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXPANSIVE SOIL WARNING

All footings shall comply with expansive soils requirement per Los Angeles Building Code Section 91.1804.4 as follows:

1. Depth of footings below the natural and finish grades shall not be less than 18" for exterior and 12" for interior footings.
2. Interior bearing walls shall be supported on continuous footings.
3. Footings shall be reinforced with four #4 deformed reinforcing bars. Two bars shall be placed 4" from the bottom of the footing and two bars 4" from the top of the footing.
4. Concrete floor slabs on-grade shall be placed on a 4" fill of coarse aggregate or on a 2-inch sand bed covered with a barrier membrane. The slabs shall be at least 3 1/2" thick and shall be reinforced with #4 rebar at 16" o.c. each way.
5. The soil below an interior concrete slab shall be saturated with moisture to a depth of 18" prior to placing the concrete.

- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE GAS PIPING.

- PROVIDE A SMOKE DETECTOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE

11, 111, AND APPENDICES BUILDING OFFICIALS, STANDARDS.

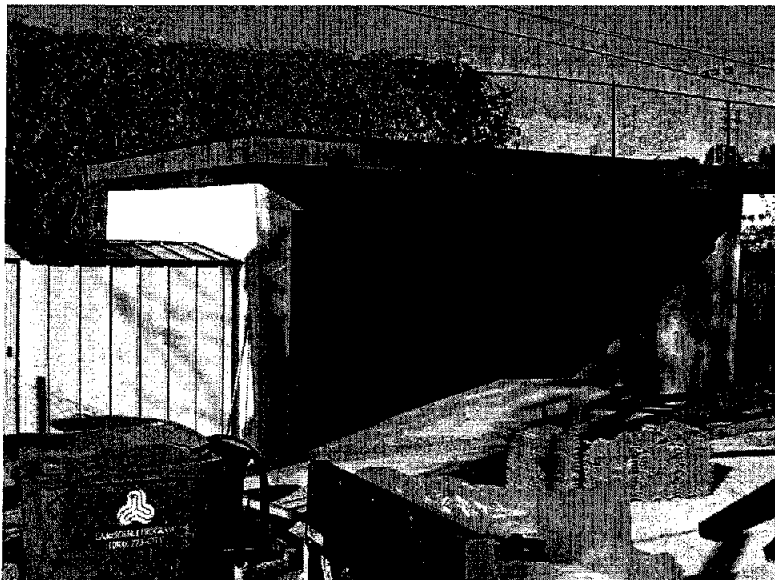
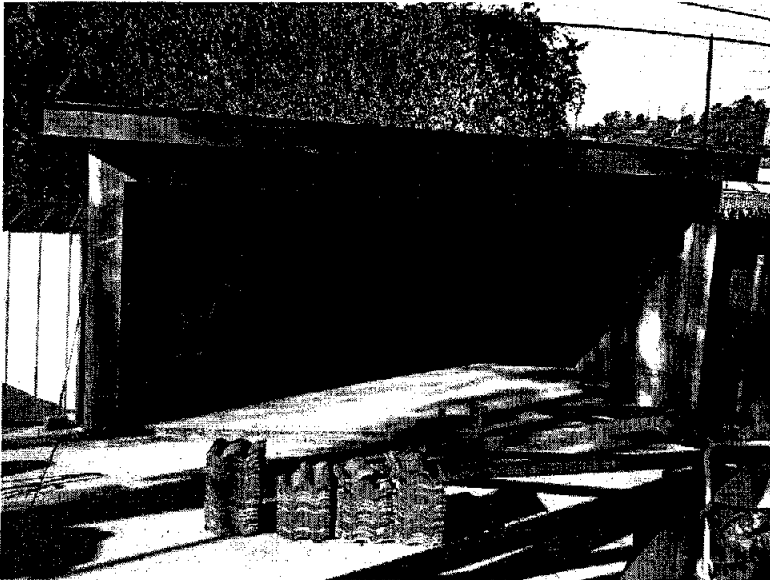
BY THE INTERNATIONAL IN THE CALIFORNIA

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 237 S AVE 18	For Insurance Company Use: Policy Number
City LOS ANGELES State CA ZIP Code 90031	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.



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MAYOR

DEPARTMENT OF  
PUBLIC WORKS

BUREAU OF  
ENGINEERING

GARY LEE MOORE, P.E.  
CITY ENGINEER

1149 S. BROADWAY, SUITE 700  
LOS ANGELES, CA 90015

<http://eng.lacity.org>

May 21, 2008

Edwin Vega  
237 S. Avenue 18  
Los Angeles, CA 90031

Dear Mr. Vega

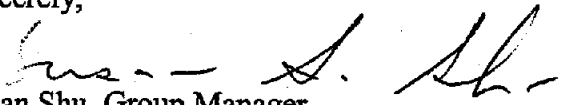
**237 S. AVE. 18 – PCIS #07010-20000-04035, APPROVED ELEVATION CERTIFICATE**

I received the completed and stamped Elevation Certificate for the above project. The Elevation Certificate conforms to the elevation required at time of sign-off, therefore, my office has no objections for the completion of this project.

This Elevation Certificate can be used at the end of construction to show that the finished floor elevation is in compliance. Please provide a copy of the attached Elevation Certificate to the City Building and Safety Inspector.

If you have any questions, please contact Mr. Mahendra Amin, at (213) 485-4465.

Sincerely,

  
Susan Shu, Group Manager  
Stormwater Group

SS/MA:lj  
I:\K ST & SWG\Stormwater\Mahendra\237 S Ave ELEVATION CERTIFICATE.doc

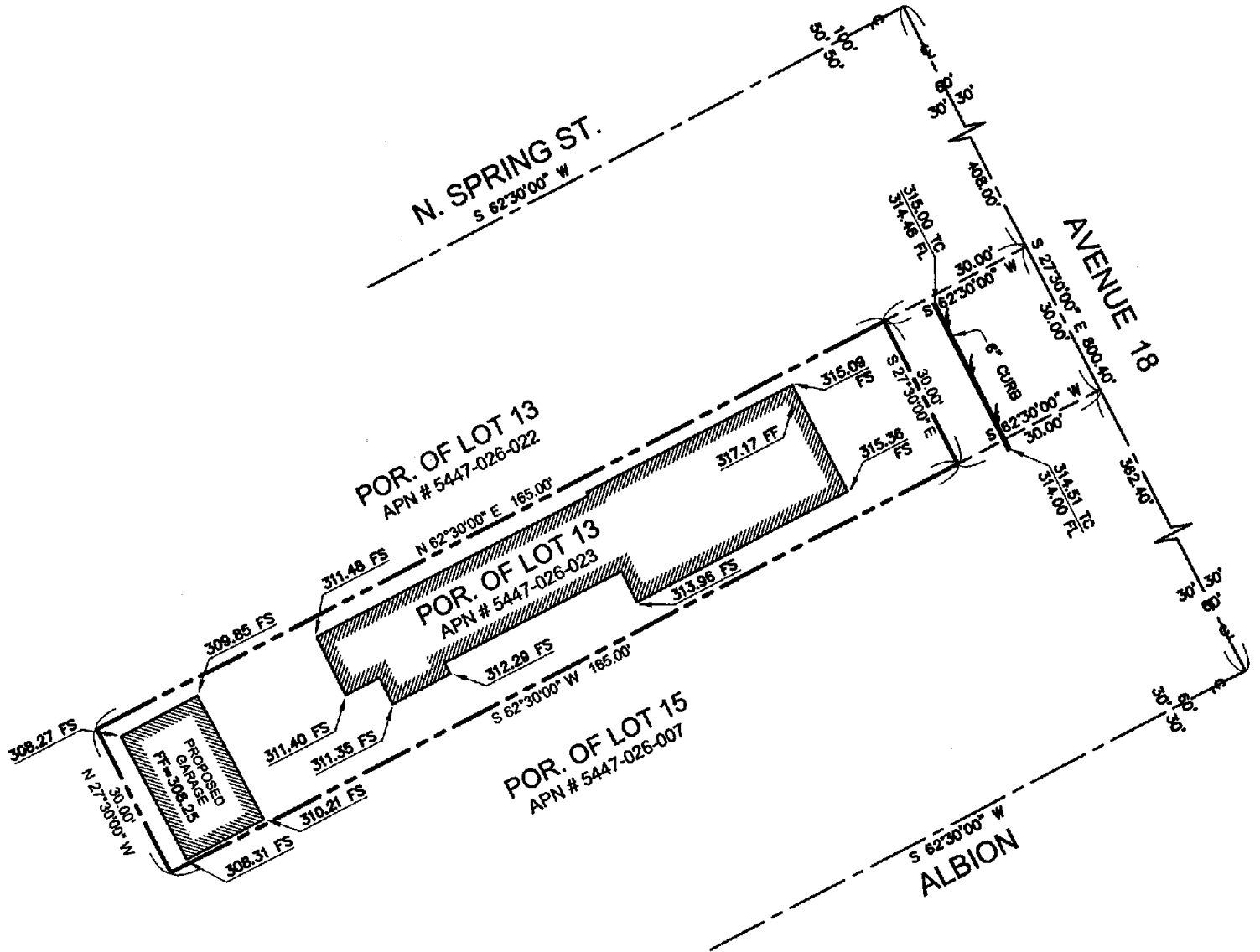
CC: Robert Steinbach, DBS, MS 115  
Tom Stevens, DBS, MS 115  
Wesley Tanijiri, BOE, MS 503  
Cindy Pham, BOE, MS 494



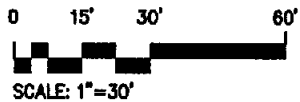
# PLAT MAP

**LEGEND**

———— CENTER LINE  
 - - - - - PROPERTY LINE



**SURVEY MAP**



FEMA ID: 0601370066 D  
 EFFECTIVE DATE: 07-16-1998  
 ZONE: X

ZONE X - AREAS OF 500 YEAR FLOOD;  
 AREAS OF 100 YEARS FLOOD WITH  
 AVERAGE DEPTHS OF LESS THAN 1  
 FOOT OR WITH DRAINAGE AREAS LESS  
 THAN 1 SQUARE MILE; AND AREAS  
 PROTECTED BY LEVASS FROM 100 YEAR  
 FLOODS.

BENCH MARK:  
 BENCH MARK ID: 12-04728  
 YEAR OF RECORD: 1985  
 DATUM: NGVD 1928  
 ELEVATION: 320.528 FEET  
 DESCRIPTIONS:  
 SPK NW CURB N. SPRING ST.  
 3 FT. SW/O BCR SW/O N.  
 BROADWAY



10-15-07

	CHECKED BY:
	R.L.
	DATE:
	OCT. 15, 2007
	PROJECT NAME:
237-239 S. AVE 18 LOS ANGELES, CA 90031 FLOOD ELEVATION CERTIFICATE	

<b>RLA</b>	<b>Ray Lombera &amp; Associates</b> <i>Land Surveying Planning Land Development</i>
5015 EAGLE ROCK BLVD. SUITE 210 LOS ANGELES, CA. 90041 TEL. (323) 257-9771 FAX. (323) 257-9865	