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**BUREAU OF
ENGINEERING**

GARY LEE MOORE, PE, ENV SP
CITY ENGINEER

1149 S. BROADWAY, SUITE 700
LOS ANGELES, CA 90015-2213

<http://eng.lacity.org>

MEMO OF REVIEW FOR CORRECTNESS AND COMPLETION

In accordance with this community's participation in the National Flood Insurance Program's Community Rating System, all FEMA Elevation Certificates must be correct and complete. The attached Certificate has some incorrect items which are noted here.

SECTION A – PROPERTY INFORMATION			For Insurance Company Use:	
A1. Building Owner's Name			Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.o. Route and Box No. 1054 & 1060 S. Bronson Ave			Company NAIC Number	
City	State	Zip Code		
Los Angeles	CA	90019		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)				
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) _____				
A5. Latitude/Longitude: Lat. _____ Long. _____ Horizontal Datum: NAD 1927 NAD 1983				
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.				
A7. Building Diagram Number _____				
A8. For a building with a crawl space or enclosures(s), provide			A9. For a building with an attached garage, provide:	
a)	Square footage of crawl space or enclosure(s) _____ sq ft		a)	Square footage of attached garage _____ sq ft
b)	No. of permanent flood openings in the crawl space or enclosures(s) walls within 1.0 foot above adjacent grade _____		b)	No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____
c)	Total net area of flood openings in A8.b _____ sq in		c)	Total net area of flood openings in A9.b _____ sq in

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Los Angeles 060137		B2. County Name		B3. State	
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes

No

Designation Date _____ CBRS OPA

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction



*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.

a-g below according to the building diagram specified in Item A7.

Benchmark Utilized _____ Vertical Datum _____

Conversion/Comments _____

COMMENTS:

C2a(Top of Bottom Floor) is less than 5 feet to C2b(Top of the Next Higher Floor) because there is a 1.5 foot “step up” from the Garage to the Dwelling Space. In this case, the Garage is labeled as the Top of Bottom Floor, and the Dwelling Space adjacent to the Garage (1.5 feet higher) is labeled as Top of the Next Higher Floor.

Date of Review: 08/14/20 Community Official: 

All elevation certificates shall be maintained by the community and copies with the attached memo made available upon request.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name BRONSON TERRACE LLC ✓					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE ✓					Company NAIC Number:	
City LOS ANGELES ✓		State California ✓		ZIP Code 90019 ✓		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 24 & 26, BLOCK 11, BOULEVARD HEIGHTS TRACT, MAP BOOK 7, PAGES 10 AND 11, L.A. CO. RECORDS ✓						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)					RESIDENTIAL ✓	
A5. Latitude/Longitude: Lat. 34° 3'9.26"N ✓ Long. 118°19'20.00"W ✓ Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number 1A ✓						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s)					0.00 sq ft ✓	
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0 ✓						
c) Total net area of flood openings in A8.b					0.00 sq in ✓	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ✓						
A9. For a building with an attached garage:						
a) Square footage of attached garage					350.00 sq ft ✓	
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0 ✓						
c) Total net area of flood openings in A9.b					0.00 sq in ✓	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ✓						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF LOS ANGELES #060137 ✓				B2. County Name LOS ANGELES ✓		B3. State California ✓
B4. Map/Panel Number 06037C1612 ✓	B5. Suffix G ✓	B6. FIRM Index Date 12-21-2018 ✓	B7. FIRM Panel Effective/ Revised Date 12-21-2018 ✓	B8. Flood Zone(s) AO ✓	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 2 FOOT DEPTH ✓	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE ✓			Policy Number:
City LOS ANGELES ✓	State California ✓	ZIP Code 90019 ✓	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: L.A. CITY BM NO. 12-29661 ✓ Vertical Datum: 159.354 ✓

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

- | | | |
|---|----------|--|
| | | Check the measurement used. |
| a) Top of bottom floor (including basement, crawspace, or enclosure floor) | ✓ 164.1' | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor | ✓ 165.5' | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | ✓ N/A | <input type="checkbox"/> feet <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | ✓ 164.1' | <input type="checkbox"/> feet <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | ✓ 165.4 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | ✓ 160.8 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | ✓ 161.5 | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | ✓ N/A | <input type="checkbox"/> feet <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name LAWRENCE WILSON ✓	License Number LS 6712 ✓
Title PRINCIPAL ✓	
Company Name FORMA ENGINEERING, INC. ✓	
Address 400 SAN FERNANDO MISSION BLVD. ✓	
City SAN FERNANDO ✓	State California ✓
	ZIP Code 91340 ✓



Signature <i>Lawrence Wilson</i> ✓	Date 01-15-2020 ✓	Telephone (928) 853-1590 ✓	Ext.
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Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
AIR COND. UNITS NEXT TO OUTSIDE BUILDING WALLS ✓

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE ✓			Policy Number:
City LOS ANGELES ✓	State California ✓	ZIP Code 90019 ✓	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ✓ 2.6' feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ✓ 3.3' feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ✓ 4.0' feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ ✓ 2.6' feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ✓ 3.9' feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name
BRYAN MILLER ✓

Address
3700 WILSHIRE BLVD STE 702 ✓

City
LOS ANGELES ✓

State
CALIFORNIA ✓

ZIP Code
90010 ✓

Signature
Bryan Miller ✓

Date
12/16/19 ✓

Telephone
213-352-1344 ✓

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE ✓			Policy Number:
City LOS ANGELES ✓	State California ✓	ZIP Code 90019 ✓	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number 16010-20000-04094 ✓	G5. Date Permit Issued 12/11/17 ✓	G6. Date Certificate of Compliance/Occupancy Issued
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G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: 165.5' ✓ feet meters Datum NAVD 88 ✓

G9. BFE or (in Zone AO) depth of flooding at the building site: 163.58' ✓ feet meters Datum NAVD 88 ✓

G10. Community's design flood elevation: 164.58' ✓ feet meters Datum NAVD 88 ✓

Local Official's Name <u>Bryan Guthika</u>	Title <u>Civil Engineering Associate I</u>
Community Name <u>City of Los Angeles</u>	Telephone <u>213-847-2149</u>
Signature <u>Bryan Guthika</u>	Date <u>01/22/2020</u>

Comments (including type of equipment and location, per C2(e), if applicable)

**Bureau of Engineering
Stormwater Group
Elevation Certificate Review**

Permit No. 16010-20000-04094

Approved By: Bryan Guthika

Date: 1/22/2020

Check here if attachments.

BUILDING PHOTOGRAPHS

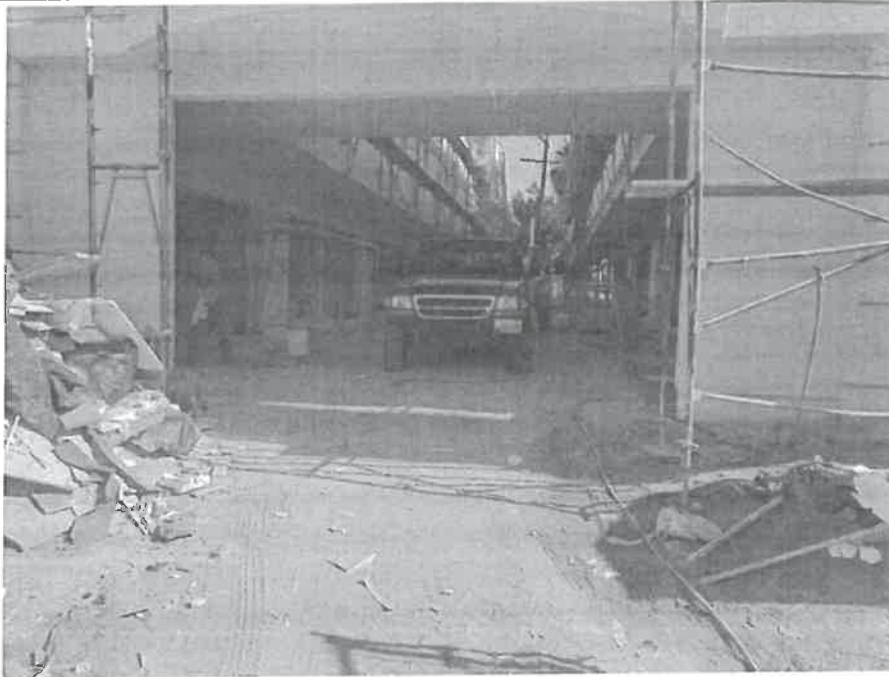
See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE ✓			Policy Number:
City LOS ANGELES ✓	State California ✓	ZIP Code 90019 ✓	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

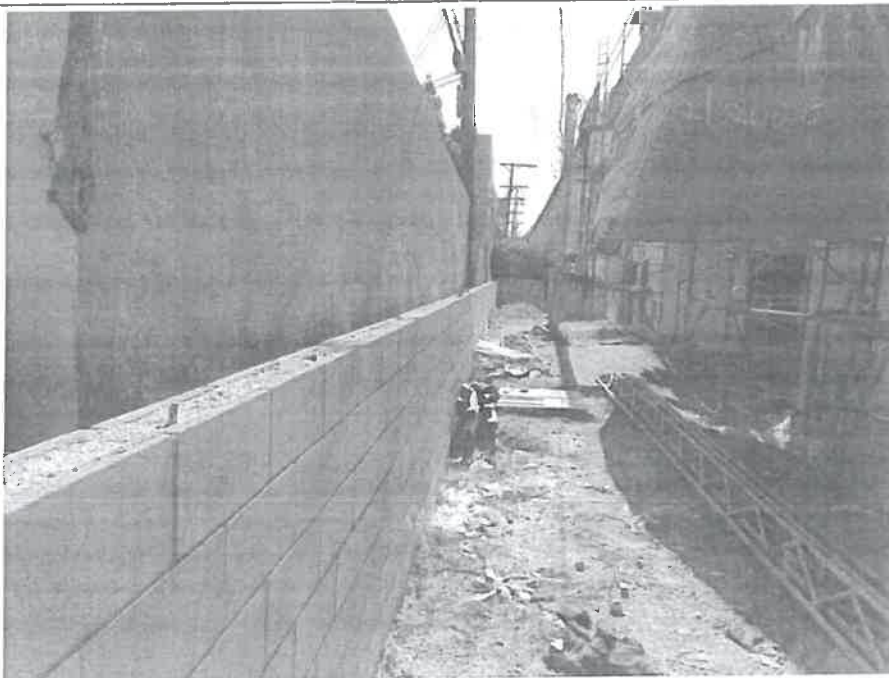


✓

Photo One

Photo One Caption FRONT OF BUILDING ON DRIVEWAY LOOKING INTO GARAGES

Clear Photo One



✓

Photo Two

Photo Two Caption AT REAR OF BUILDING LOOKING SOUTH

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1054 & 1060 S. BRONSON AVENUE			Policy Number:
City LOS ANGELES	State California	ZIP Code 90019	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption AT S.W. CORNER PROPERTY LOOKING TOWARDS BUILDING

Clear Photo Three

Photo Four

Photo Four

Photo Four Caption

Clear Photo Four